

# KAALO STUDIO

7901 RM 2222  
AUSTIN, TEXAS 78730



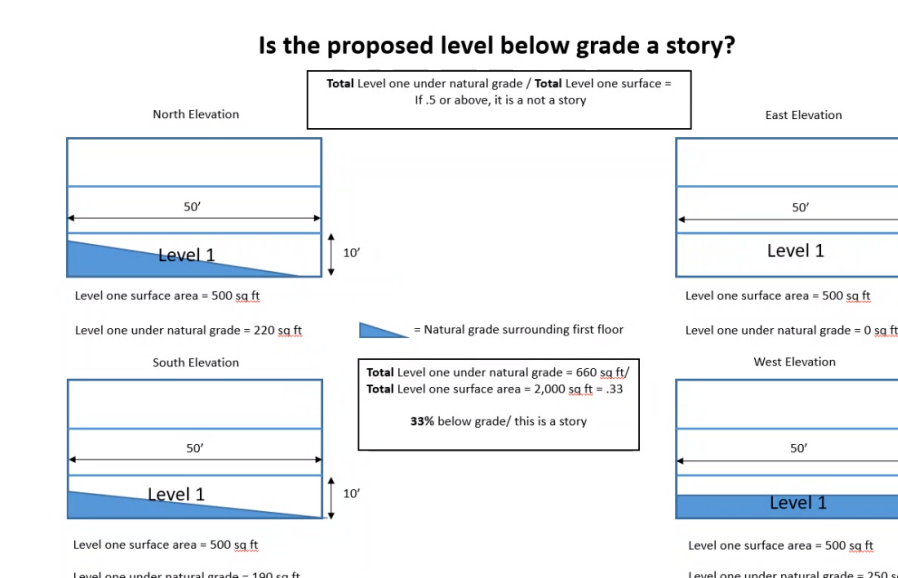
ARCHITECT  
DENCITYWORKS  
55 Washington St Suite #713  
Brooklyn NY 11201  
T: 1.646.690.0333



305 East Huntland Drive  
Suite 200  
Austin, Texas 78752  
p: 512.453.0767  
f: 512.453.1734

TBAE FIRM REGISTRATION NO.: 1452  
TBEF FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600

## PROJECT NOTES



NO.	DESCRIPTION	DATE

I CERTIFY THAT THESE ARCHITECTURAL DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THEIR INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

SITE PLAN APPROVAL SHEET 01 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DMPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final Plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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## BUILDING STORY & GRADE DETERMINATION

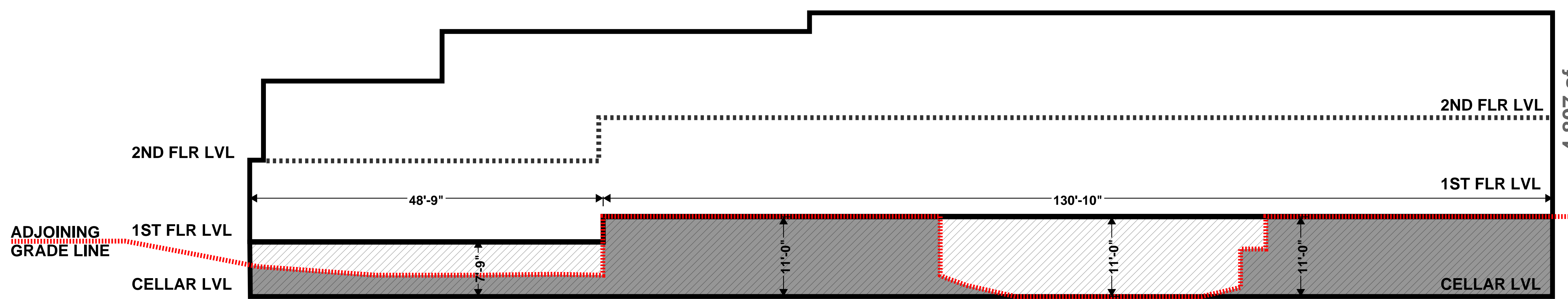
SEAL & SIGNATURE DATE 12/09/20  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker



A-100.00

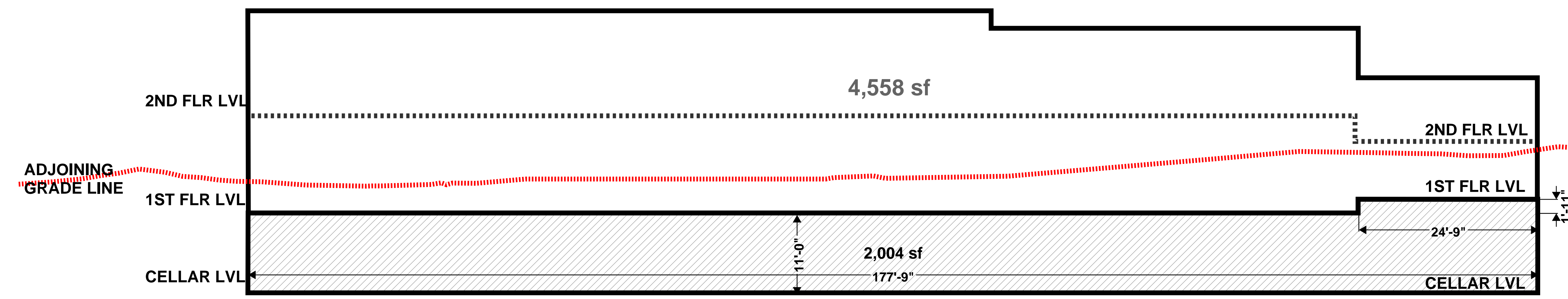
SCALE: 1/8" = 1'-0" 01 OF 18

CASE # SPC-2021-0195C



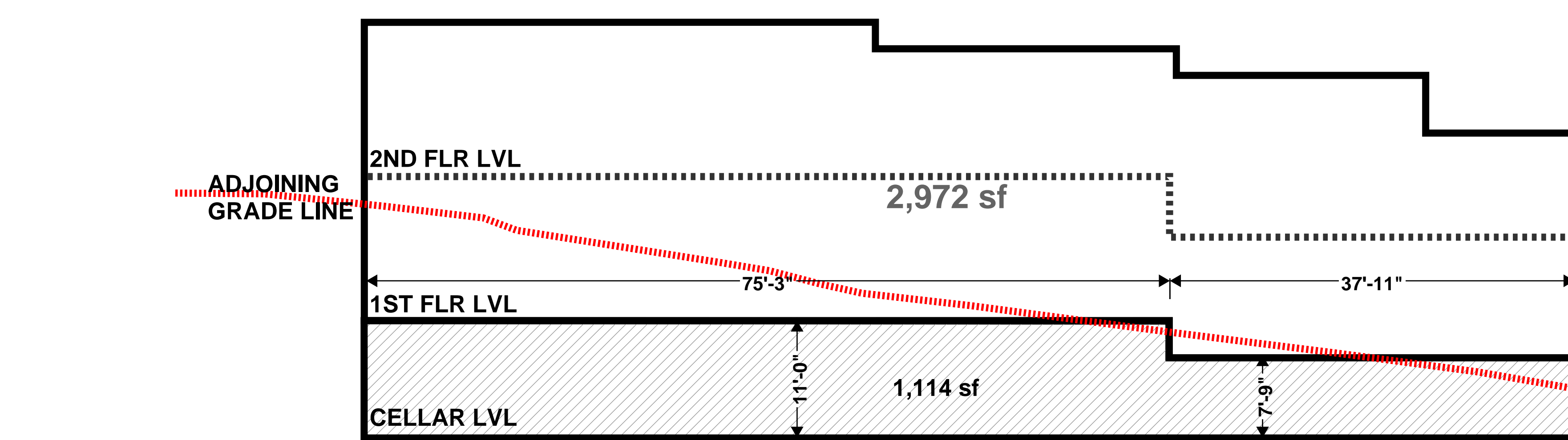
### EAST ELEVATION

CELLAR LVL SURFACE AREA 1,801 sf  
CELLAR LVL UNDER NATURAL GRADE 1,147 sf



### WEST ELEVATION

CELLAR LVL SURFACE AREA 2,004 SF  
CELLAR LVL UNDER NATURAL GRADE 2,004 SF



### SOUTH ELEVATION

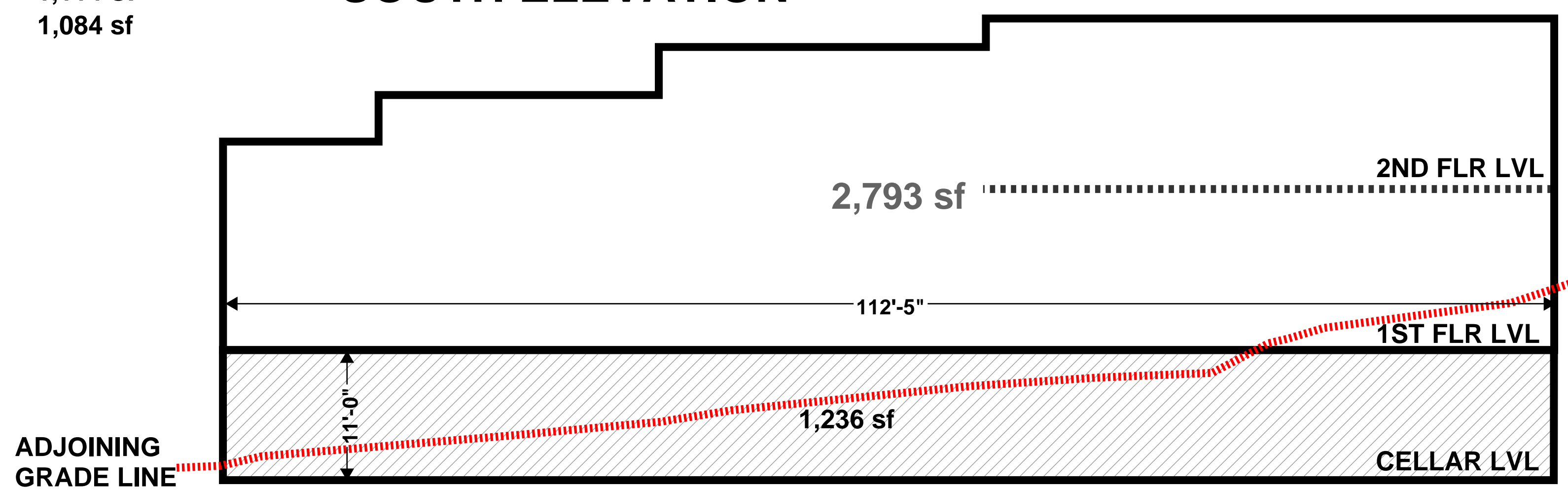
CELLAR LVL SURFACE AREA 1,114 SF  
CELLAR LVL UNDER NATURAL GRADE 1,084 SF

**BUILDING STORY DETERMINATION**

TOTAL CELLAR LVL SURFACE AREA 6,155 SFT  
TOTAL CELLAR LVL UNDER NATURAL GRADE 5,026 SFT

81.66% BELOW GRADE  
CELLAR LVL IS NOT A STORY

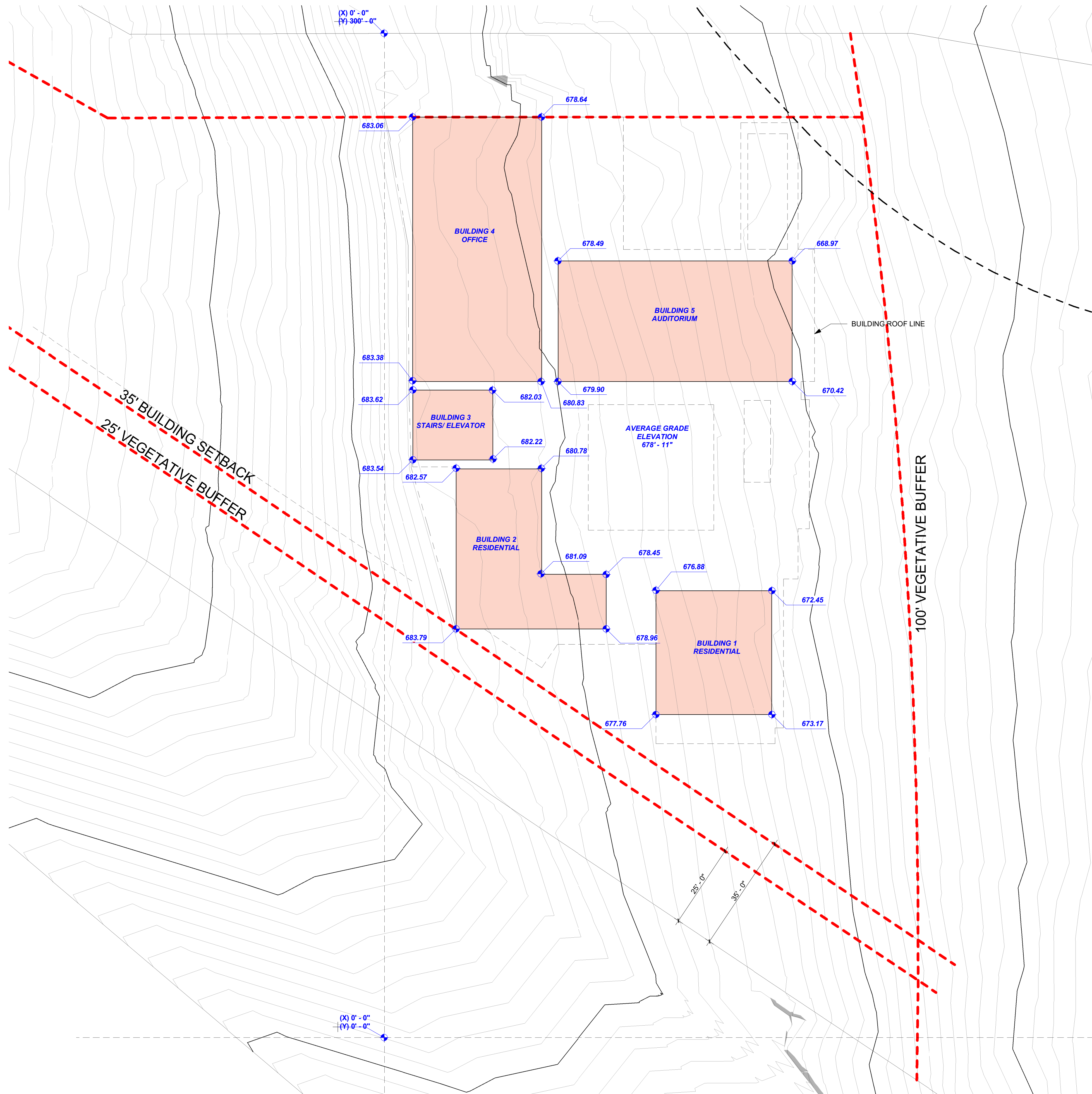
**COMPLIES**



### NORTH ELEVATION

CELLAR LVL SURFACE AREA 1,236 SF  
CELLAR LVL UNDER NATURAL GRADE 791 sf





**RESIDENTIAL  
(BUILDING 1)**  
**GROSS AREA: 2,102 GSF**  
 672.45  
 673.17  
 676.88  
677.76  
**2700.26**

$2700.26 / 4 = 675.06$

**RESIDENTIAL  
(BUILDING 2)**  
**GROSS AREA: 3,051 GSF**  
 678.45  
 678.96  
 681.09  
 680.78  
 682.57  
683.79  
**4085.64**

$4085.64 / 6 = 680.94$

**STAIRS / ELEVATOR  
(BUILDING 3)**  
**GROSS AREA: 1,828 GSF**  
 682.22  
 682.03  
 683.62  
683.54  
**2731.41**

$2731.41 / 4 = 682.85$

**OFFICE  
(BUILDING 4)**  
**GROSS AREA: 6,154 GSF**  
 680.83  
 678.64  
 683.06  
683.38  
**2725.91**

$2725.91 / 4 = 681.47$

**AUDITORIUM  
(BUILDING 5)**  
**GROSS AREA: 3,511 GSF**  
 668.97  
 670.42  
 678.49  
679.90  
**2697.78**

$2697.78 / 4 = 674.44$

**AVERAGE GRADE PLANE CALCULATION**

$(675.06 + 680.94 + 682.85 + 681.47 + 674.44) / 5 = 678.95$

**= 678' - 11"**

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**PROJECT NOTES**

01. GROSS AREA OF INDIVIDUAL BUILDINGS EXCLUDES CELLAR.

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**AVERAGE GRADE ELEVATION DIAGRAM**

SEAL & SIGNATURE	DATE	12/09/20
PROJECT NO. Project Number		
DRAWING BY Author		
CHECKED BY Checker		

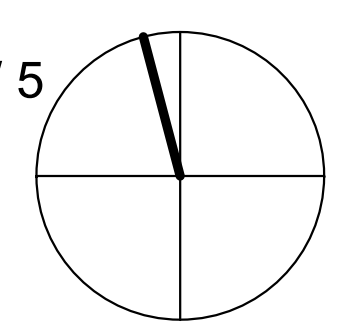


**A-101.00**

SCALE: 1/16" = 1'-0"

02 OF 18

**CASE # SPC-2021-0195C**





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## PROJECT NOTES

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- AT LEAST 50% OF THE BUILDING FRONTAGE SHALL HAVE SHADED SIDEWALKS UNDER BUILDING CANOPIES AND OVERHANGS.

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## SITE PLAN

SEAL & SIGNATURE DATE 02/08/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker

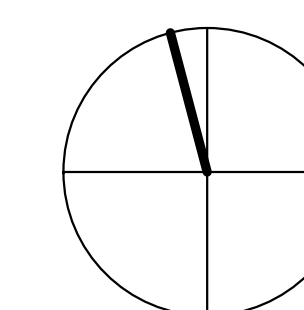
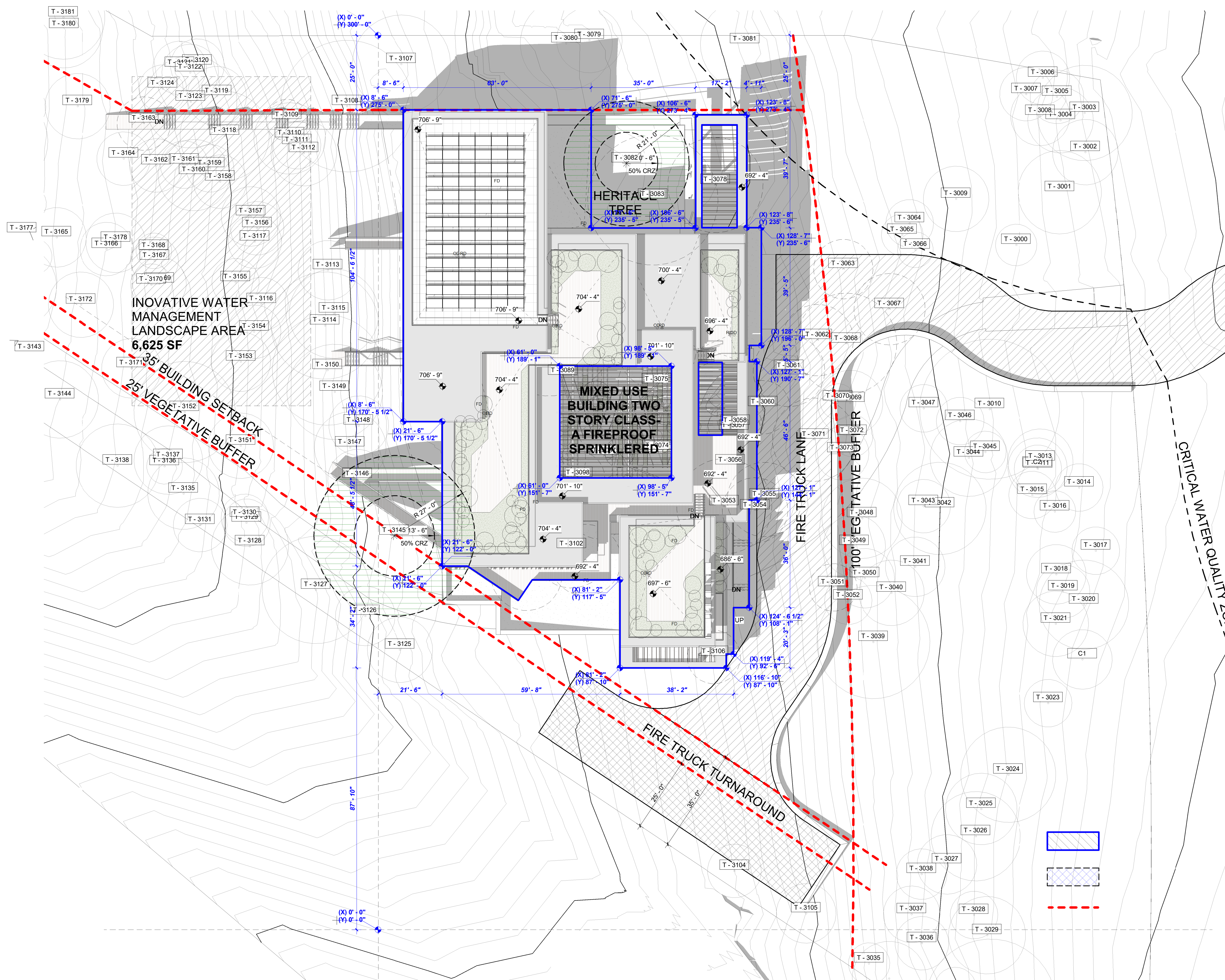


A-110.00

SCALE: 1/16" = 1'-0"

03 OF 18

CASE # SPC-2021-0195C





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TBPLS FIRM REGISTRATION NO.: 10065600

## PROJECT NOTES

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SITE PLAN APPROVAL SHEET 04 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
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PROJECT EXPIRATION DATE (ORD. #970905-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: LQ-MU-CO  
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## CELLAR PLAN

SEAL & SIGNATURE DATE 02/04/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker

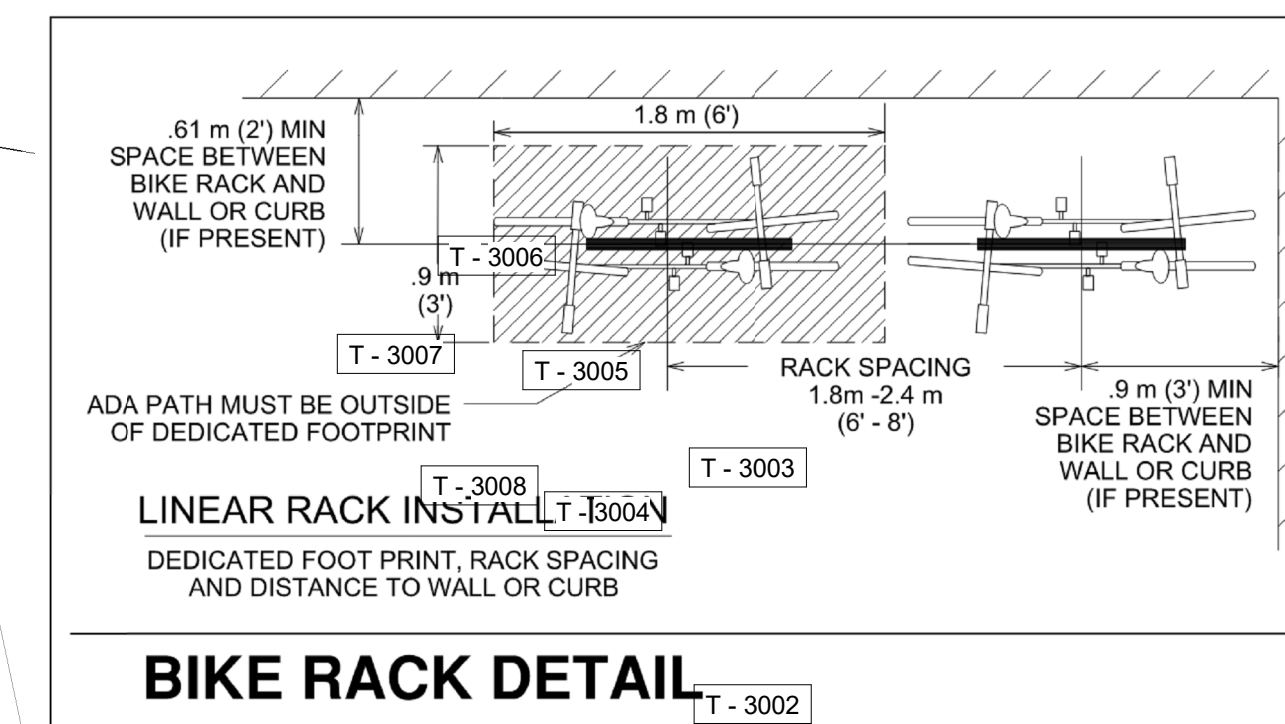


A-210.00

SCALE: 3/32" = 1'-0"

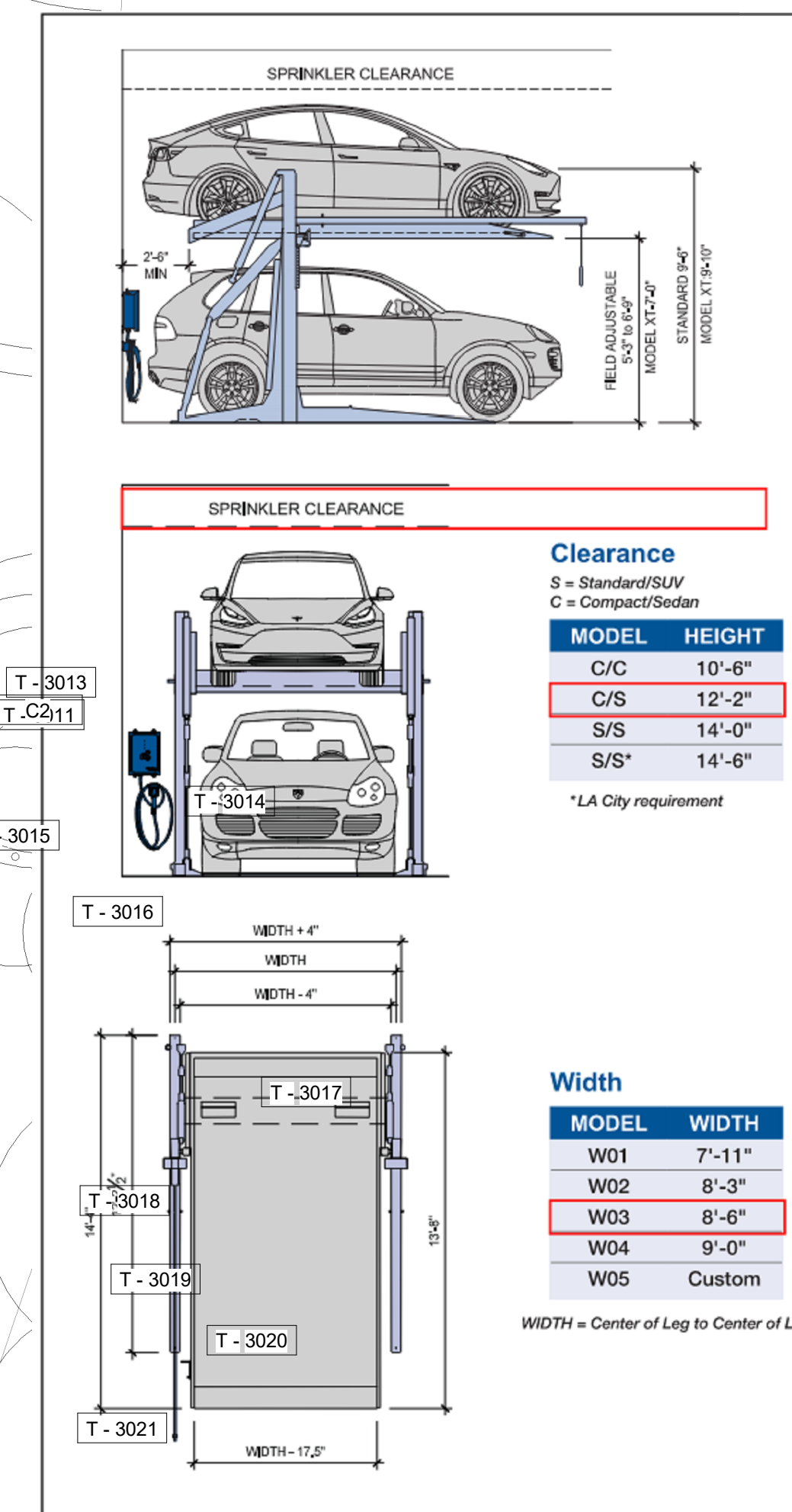
04 OF 18

CASE # SPC-2021-0195C



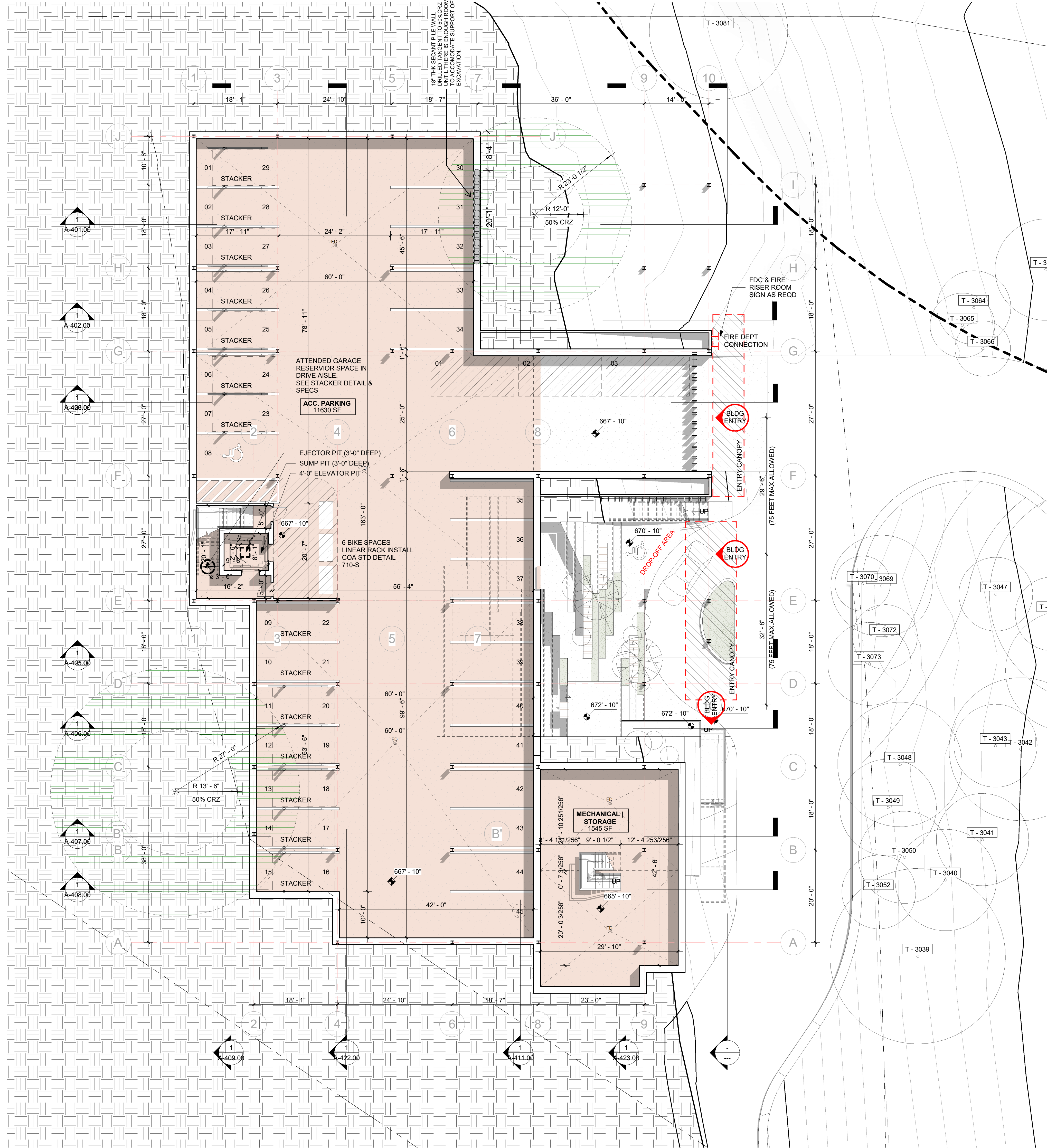
**CELLAR STORY DETERMINATION**

TOTAL AREA OF CELLAR:	13,175 SFT
AREA OF CELLAR ABOVE GRADE:	1,466 SFT
PERCENTAGE OF CELLAR BELOW GRADE:	89% BELOW GRADE
CELLAR IS NOT A STORY	COMPLIES



## PARK PLUS DP003 DOUBLE STACKER PARKING STACKER DETAIL

T-3023



T-3024



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## PROJECT NOTES

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PROJECT EXPIRATION DATE (ORD. #97905-A) \_\_\_\_\_ DMPZ \_\_\_\_\_ DDZ \_\_\_\_\_

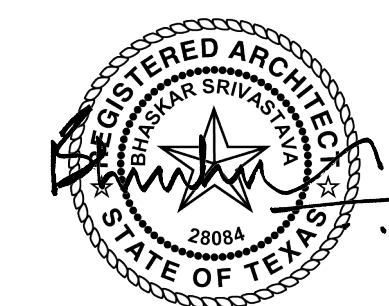
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: LQ-MU-CO  
Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
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## 1ST FLOOR PLAN

SEAL & SIGNATURE DATE 02/08/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker

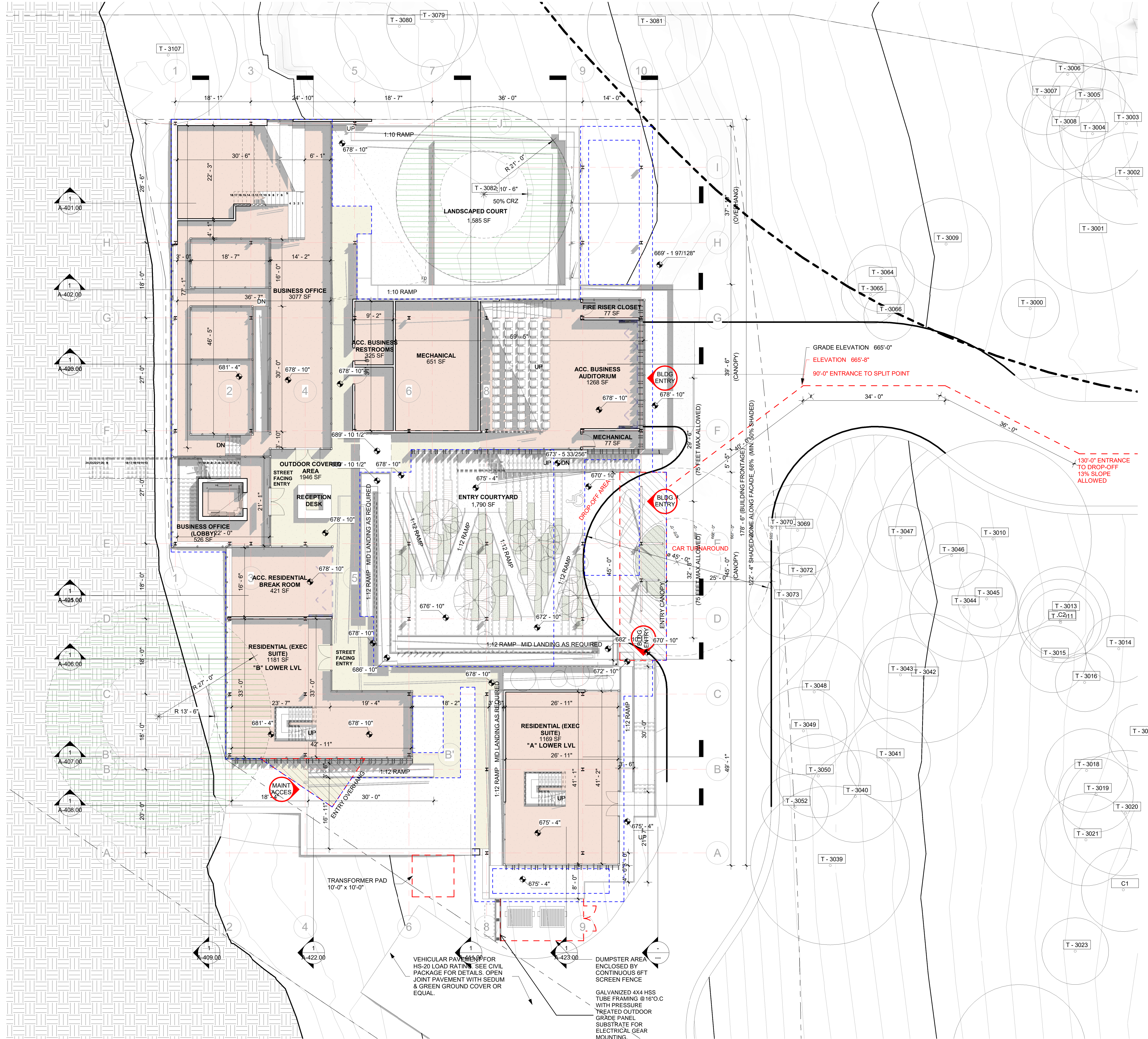


A-211.00

SCALE: 3/32" = 1'-0"

05 OF 18

CASE # SPC-2021-0195C



VEHICULAR PAVEMENT FOR HS-20 LOAD RATING. SEE CIVIL PACKAGE FOR DETAILS. OPEN JOINT PAVEMENT WITH SEDUM & GREEN GROUND COVER OR EQUAL.

DUMPSTER AREA ENCLOSED BY CONTINUOUS 6FT SCREEN FENCE

GALVANIZED 4X4 HSS TUBE FRAMING @16"O.C WITH PRESSURE TREATED OUTDOOR GRADE PANEL SUBSTRATE FOR ELECTRICAL GEAR MOUNTING.

T-3024



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Director, Development Services Department  
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## 2ND FLOOR PLAN

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CHECKED BY Checker

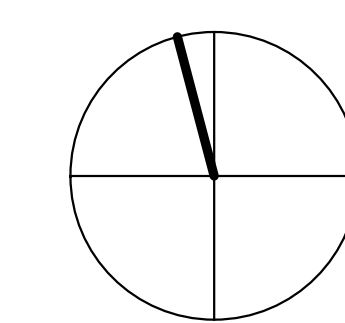
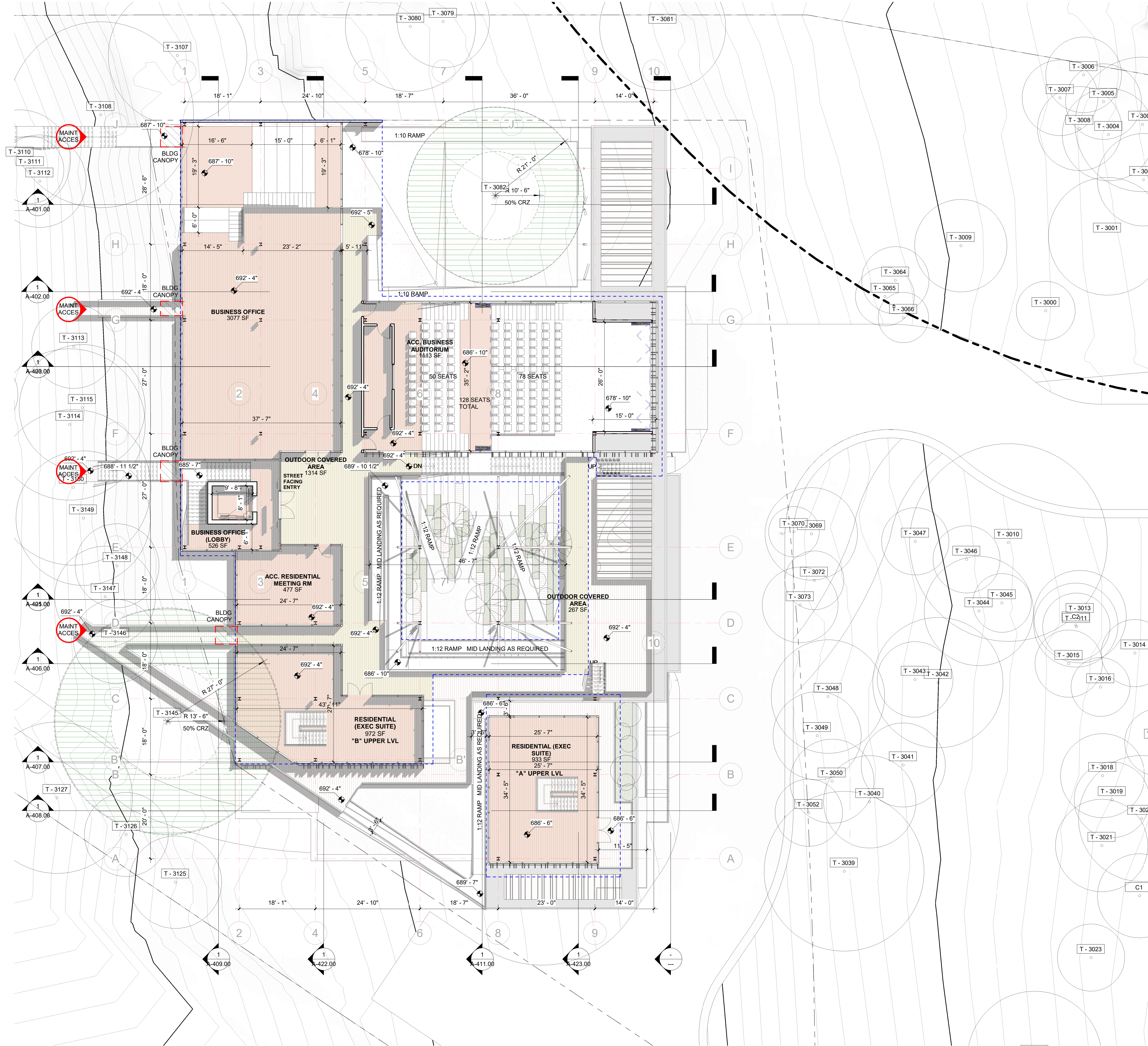


A-212.00

SCALE: 3/32" = 1'-0"

06 OF 18

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Rev. 3 Correction 3

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## EAST ELEVATION

SEAL & SIGNATURE DATE 02/09/22

PROJECT NO. Project Number

DRAWING BY Author

CHECKED BY Checker

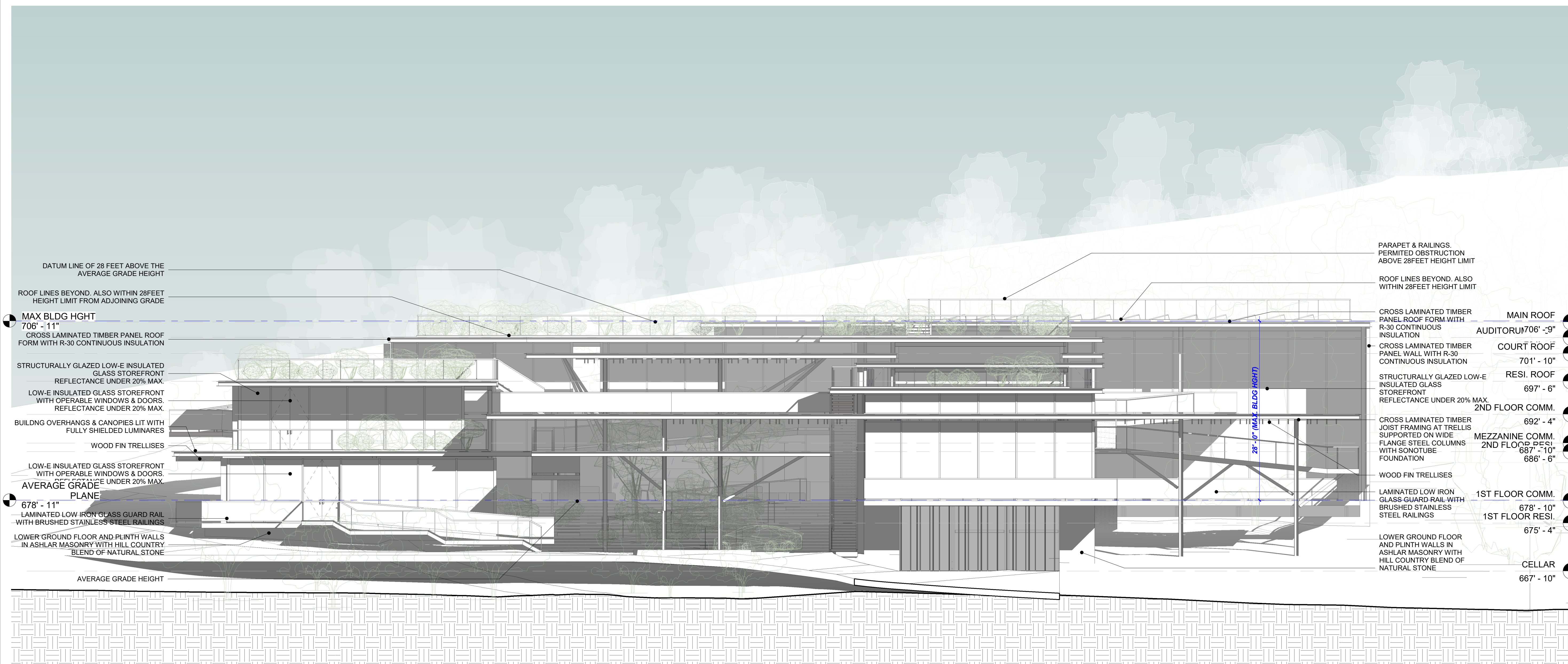


A-310.00

SCALE: 1/8" = 1'-0"

07 OF 18

CASE # SPC-2021-0195C



DATUM LINE OF 28 FEET ABOVE THE AVERAGE GRADE HEIGHT

ROOF LINES BEYOND, ALSO WITHIN 28FEET HEIGHT LIMIT FROM ADJOINING GRADE

MAX BLDG HGHT  
706' - 11"  
CROSS LAMINATED TIMBER PANEL ROOF FORM WITH R-30 CONTINUOUS INSULATION

STRUCTURALLY GLAZED LOW-E INSULATED GLASS STOREFRONT REFLECTANCE UNDER 20% MAX.  
LOW-E INSULATED GLASS STOREFRONT WITH OPERABLE WINDOWS & DOORS. REFLECTANCE UNDER 20% MAX.

BUILDING OVERHANGS & CANOPIES LIT WITH FULLY SHIELDED LUMINAIRES

WOOD FIN TRELLISES

LOW-E INSULATED GLASS STOREFRONT WITH OPERABLE WINDOWS & DOORS. REFLECTANCE UNDER 20% MAX.

AVERAGE GRADE PLANE

678' - 11"  
LAMINATED LOW IRON GLASS GUARD RAIL WITH BRUSHED STAINLESS STEEL RAILINGS

LOWER GROUND FLOOR AND PLINTH WALLS IN ASHLAR MASONRY WITH HILL COUNTRY BLEND OF NATURAL STONE

AVERAGE GRADE HEIGHT

PARAPET & RAILINGS PERMITTED OBSTRUCTION ABOVE 28FEET HEIGHT LIMIT

ROOF LINES BEYOND, ALSO WITHIN 28FEET HEIGHT LIMIT

CROSS LAMINATED TIMBER PANEL ROOF FORM WITH R-30 CONTINUOUS INSULATION MAIN ROOF

CROSS LAMINATED TIMBER PANEL WALL WITH R-30 CONTINUOUS INSULATION AUDITORIUM 706' - 9"

STRUCTURALLY GLAZED LOW-E INSULATED GLASS STOREFRONT REFLECTANCE UNDER 20% MAX. COURT ROOF 701' - 10"

STRUCTURALLY GLAZED LOW-E INSULATED GLASS STOREFRONT REFLECTANCE UNDER 20% MAX. RESI. ROOF 697' - 6"

CROSS LAMINATED TIMBER JOIST FRAMING AT TRELLIS SUPPORTED ON WIDE FLANGE STEEL COLUMNS WITH SONOTUBE FOUNDATION 2ND FLOOR COMM. 692' - 4"

WOOD FIN TRELLISES MEZZANINE COMM. 2ND FLOOR RESI. 687' - 10"

LAMINATED LOW IRON GLASS GUARD RAIL WITH BRUSHED STAINLESS STEEL RAILINGS 1ST FLOOR COMM. 678' - 10"

1ST FLOOR RESI. 675' - 4"

LOWER GROUND FLOOR AND PLINTH WALLS IN ASHLAR MASONRY WITH HILL COUNTRY BLEND OF NATURAL STONE CELLAR 667' - 10"

28' - 0" (MAX. BLDG HGHT)



# KAALO STUDIO

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AUSTIN, TEXAS 78730



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TBAE FIRM REGISTRATION NO.: 1452  
TBE FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600

## PROJECT NOTES

### SUBCHAPTER "E" NOTES:

1. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURE SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E
2. SCREENING FOR LOADING & TRASH PICKUP AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
3. THE DEVELOPMENT SHALL DEVOTE A MINIMUM OF 5% GROSS SITE AREA TO PRIVATE COMMON OPEN SPACE. OPEN SPACE SHALL BE READILY ACCESSIBLE AND USEABLE FOR VISITORS.
4. AT LEAST 50% OF THE BUILDING FRONTAGE SHALL HAVE SHADED SIDEWALKS UNDER BUILDING CANOPIES AND OVERHANGS.

NO.	DESCRIPTION	DATE
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I CERTIFY THAT THESE ARCHITECTURAL DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THEIR INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

SITE PLAN APPROVAL SHEET 08 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DWPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO

Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final Plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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## WEST ELEVATION

SEAL & SIGNATURE DATE 02/09/22

PROJECT NO. Project Number

DRAWING BY Author

CHECKED BY Checker

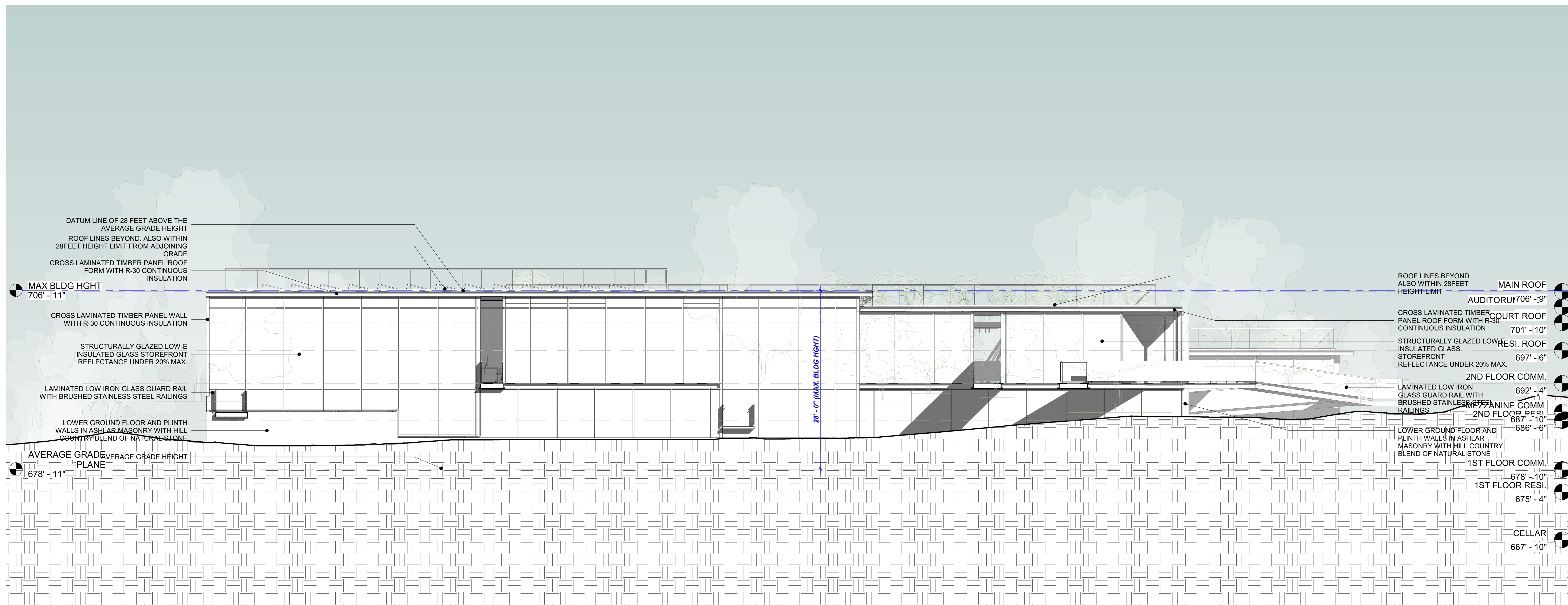


A-311.00

SCALE: 1/8" = 1'-0"

08 OF 18

CASE # SPC-2021-0195C





# KAALO STUDIO

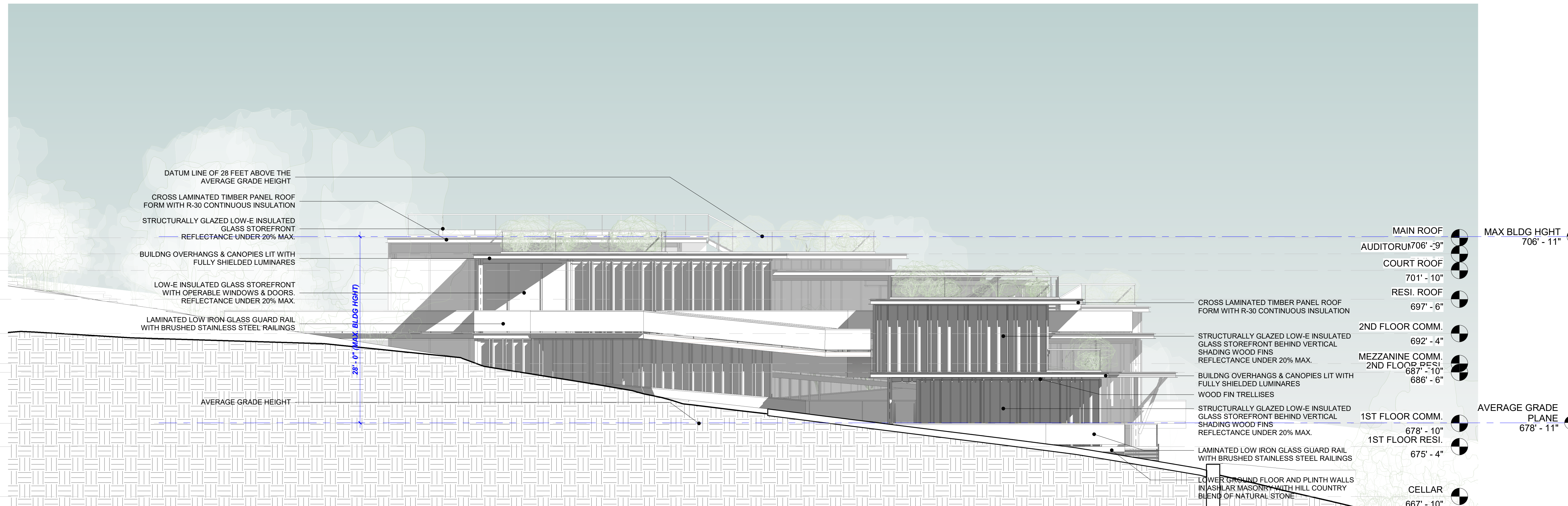
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TBAE FIRM REGISTRATION NO.: 1452  
TBEF FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600



NO.	DESCRIPTION	DATE
1	MAX BLDG HGT	706' - 11"
2	AVERAGE GRADE PLANE	678' - 11"

## PROJECT NOTES

### SUBCHAPTER "E" NOTES:

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SITE PLAN APPROVAL SHEET 09 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DMPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3  
Final Plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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## SOUTH ELEVATION

SEAL & SIGNATURE DATE 02/09/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker



A-312.00

SCALE: 1/8" = 1'-0" 09 OF 18

CASE # SPC-2021-0195C



# KAALO STUDIO

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AUSTIN, TEXAS 78730



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TBAE FIRM REGISTRATION NO.: 1452  
TBE FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600

## PROJECT NOTES

### SUBCHAPTER "E" NOTES:

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NO.	DESCRIPTION	DATE
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SITE PLAN APPROVAL SHEET 10 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DMPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

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## NORTH ELEVATION

SEAL & SIGNATURE DATE 02/09/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker

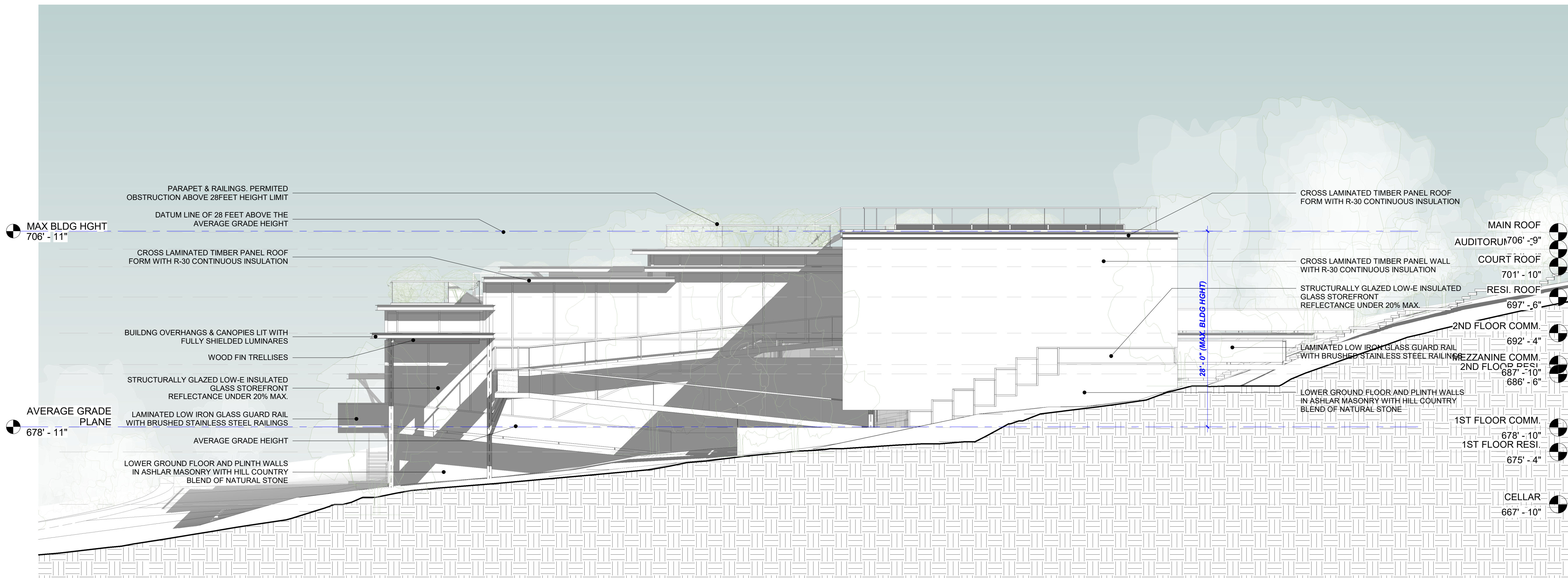


A-313.00

SCALE: 1/8" = 1'-0"

10 OF 18

CASE # SPC-2021-0195C





# KAALO STUDIO

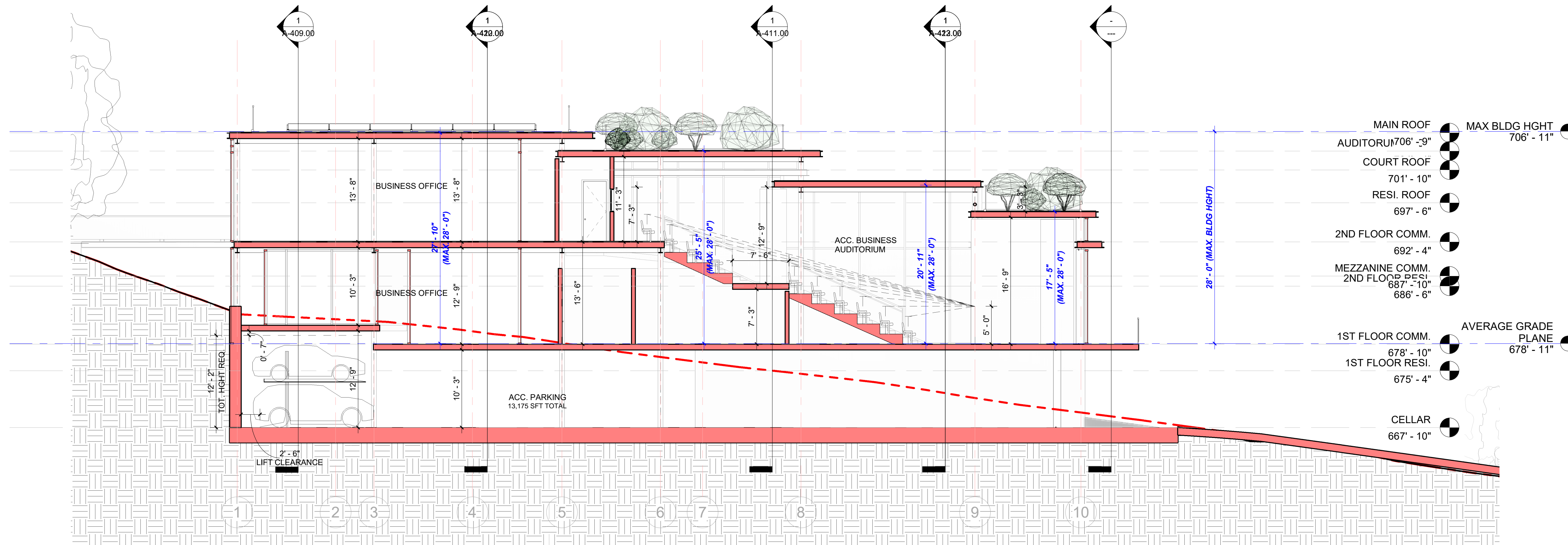
7901 RM 2222  
AUSTIN, TEXAS 78730



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TBAE FIRM REGISTRATION NO.: 1452  
TBE FIRM REGISTRATION NO.: F-14316  
TBLPS FIRM REGISTRATION NO.: 10065600



MAIN ROOF	MAX BLDG HGHT	706' - 11"
AUDITORIUM	706' - 9"	
COURT ROOF	701' - 10"	
RESI. ROOF	697' - 6"	
2ND FLOOR COMM.	692' - 4"	
MEZZANINE COMM.	687' - 10"	
2ND FLOOR RES.	686' - 6"	
1ST FLOOR COMM.	AVERAGE GRADE PLANE	678' - 11"
1ST FLOOR RES.	678' - 10"	
	675' - 4"	
CELLAR	667' - 10"	

## PROJECT NOTES

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SITE PLAN APPROVAL SHEET 11 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
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EXPIRATION DATE (25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DWPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

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## SECTION

SEAL & SIGNATURE DATE 02/08/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker

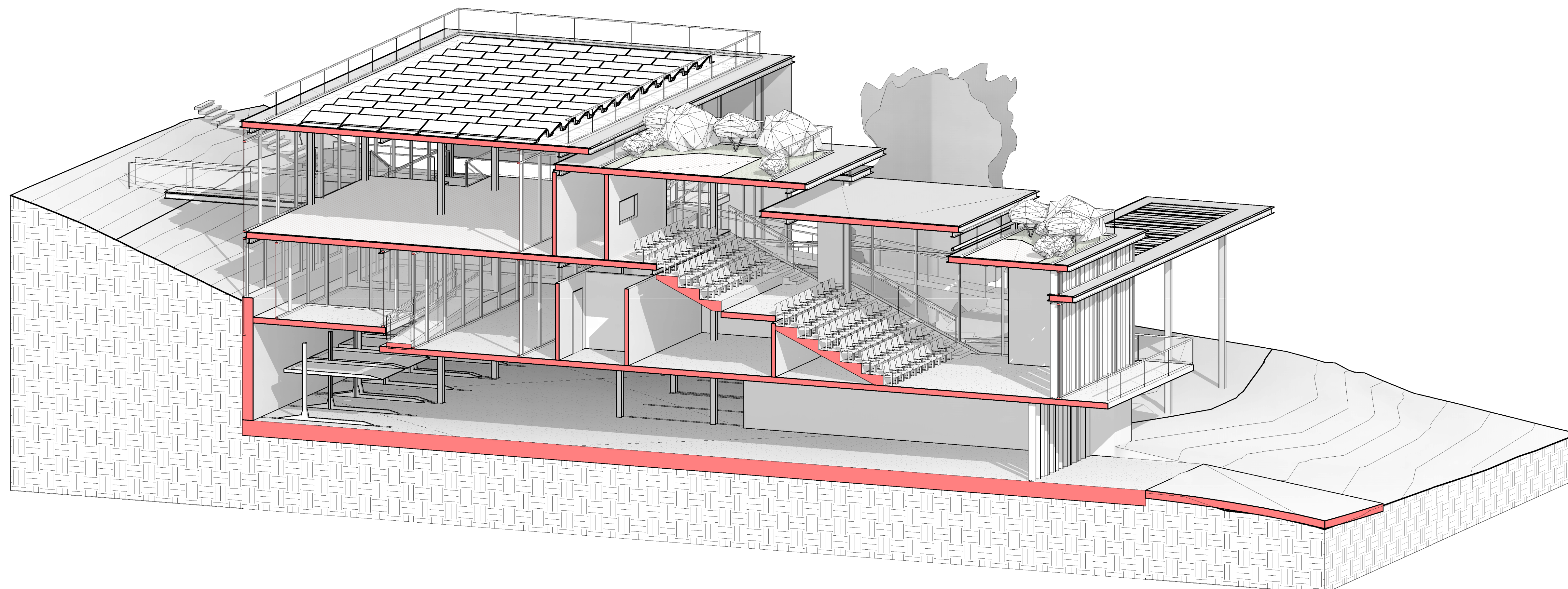


A-420.00

SCALE: 1/8" = 1'-0"

11 OF 18

CASE # SPC-2021-0195C





# KAALO STUDIO

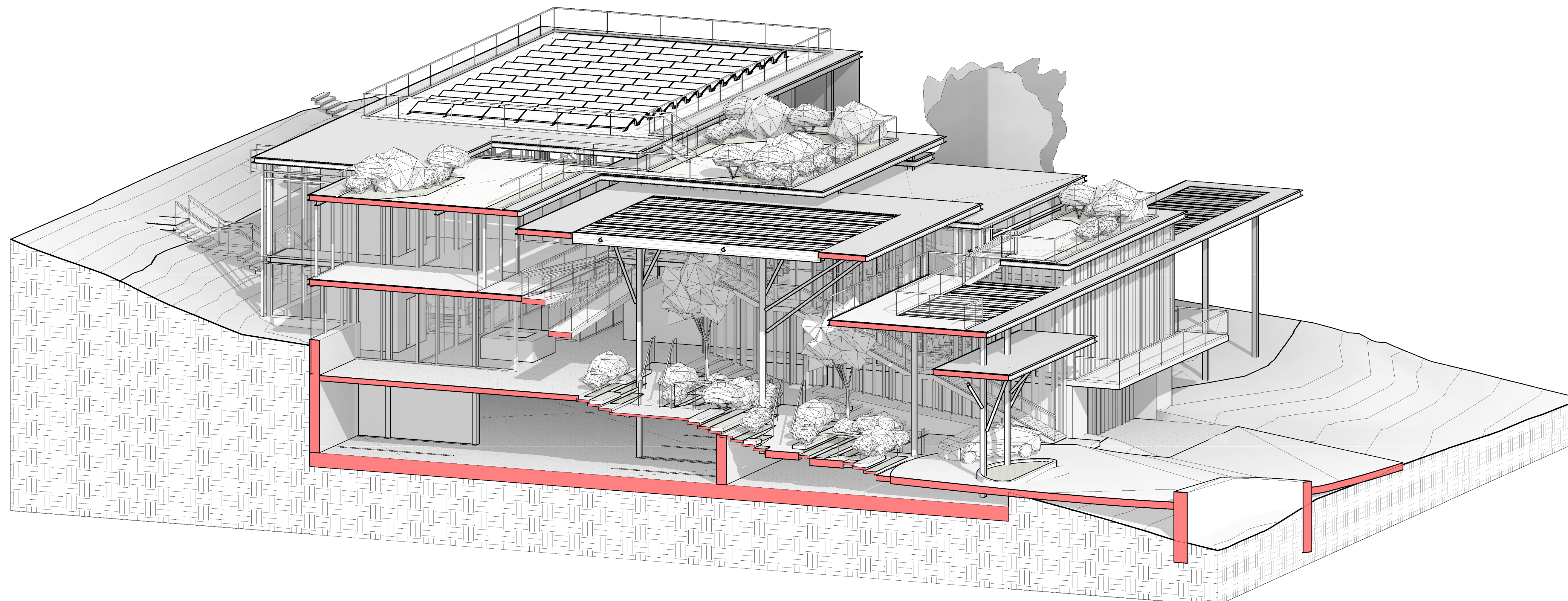
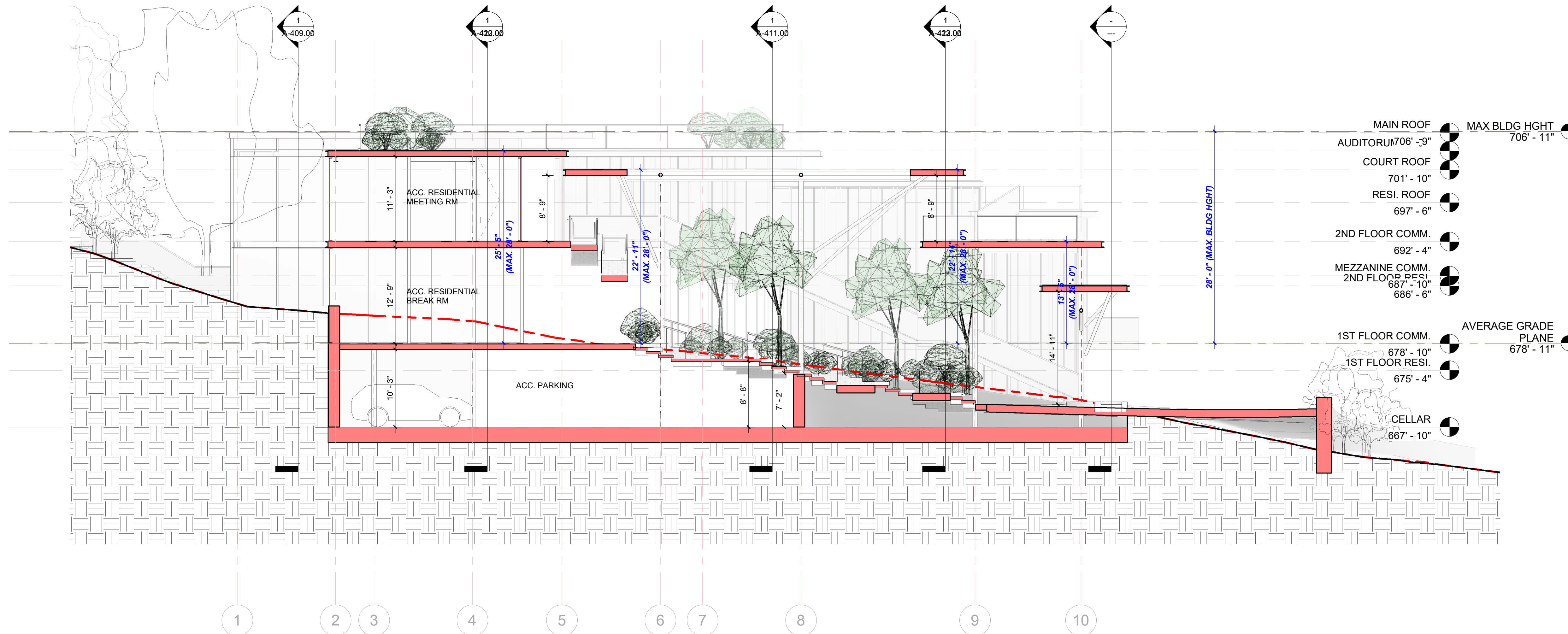
7901 RM 2222  
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f: 512.453.1734  
TBAE FIRM REGISTRATION NO.: 1452  
TYPE FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600



## PROJECT NOTES

### SUBCHAPTER "E" NOTES:

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SITE PLAN APPROVAL SHEET 12 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DWPZ DDZ\_X

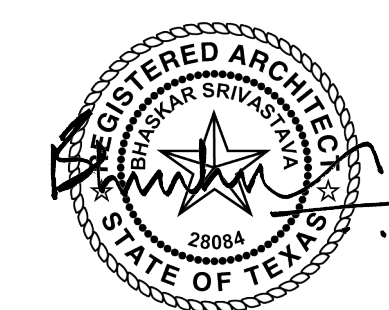
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

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## SECTION

SEAL & SIGNATURE DATE 02/08/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker



A-421.00

SCALE: 1/8" = 1'-0"

12 OF 18

CASE # SPC-2021-0195C



# KAALO STUDIO

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AUSTIN, TEXAS 78730



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TBAE FIRM REGISTRATION NO.: 1452  
TBE FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600



## PROJECT NOTES

### SUBCHAPTER "E" NOTES:

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NO.	DESCRIPTION	DATE

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SITE PLAN APPROVAL SHEET 13 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DWPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

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## SECTION

SEAL & SIGNATURE DATE 02/08/22  
PROJECT NO. Project Number  
DRAWING BY Author  
CHECKED BY Checker



A-422.00

SCALE: 1/8" = 1'-0" 13 OF 18

CASE # SPC-2021-0195C



# KAALO STUDIO

7901 RM 2222  
AUSTIN, TEXAS 78730

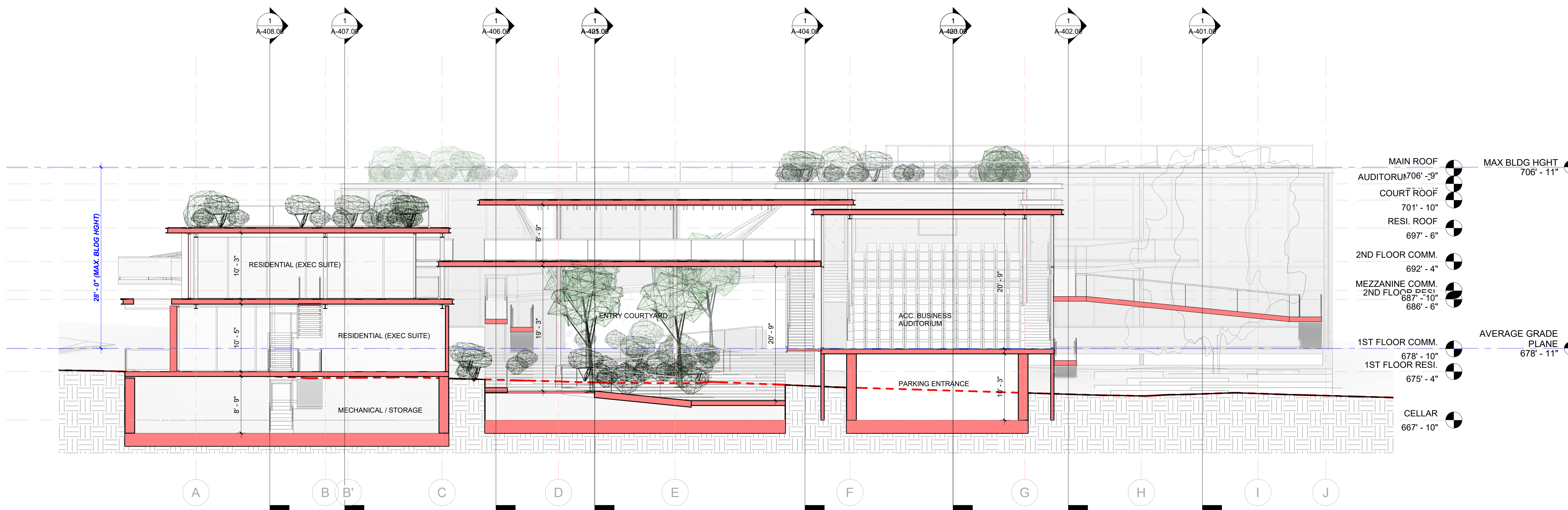


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TBAE FIRM REGISTRATION NO.: 1452  
TYPE FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600



MAIN ROOF	706' - 9"	MAX BLDG HGT	706' - 11"
AUDITORIUM	706' - 9"		
COURT ROOF	701' - 10"		
RESL. ROOF	697' - 6"		
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2ND FLOOR DESI	686' - 6"		
1ST FLOOR COMM.	678' - 10"		
1ST FLOOR RESI.	675' - 4"		
CELLAR	667' - 10"		

## PROJECT NOTES

- SUBCHAPTER "E" NOTES:**
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SITE PLAN APPROVAL SHEET 14 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
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EXPIRATION DATE(25-5-81, LDC) CASE MANAGER RAVILA  
PROJECT EXPIRATION DATE (ORD. #970905-A) DWPZ DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: ZONING LQ-MU-CO  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

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## SECTION

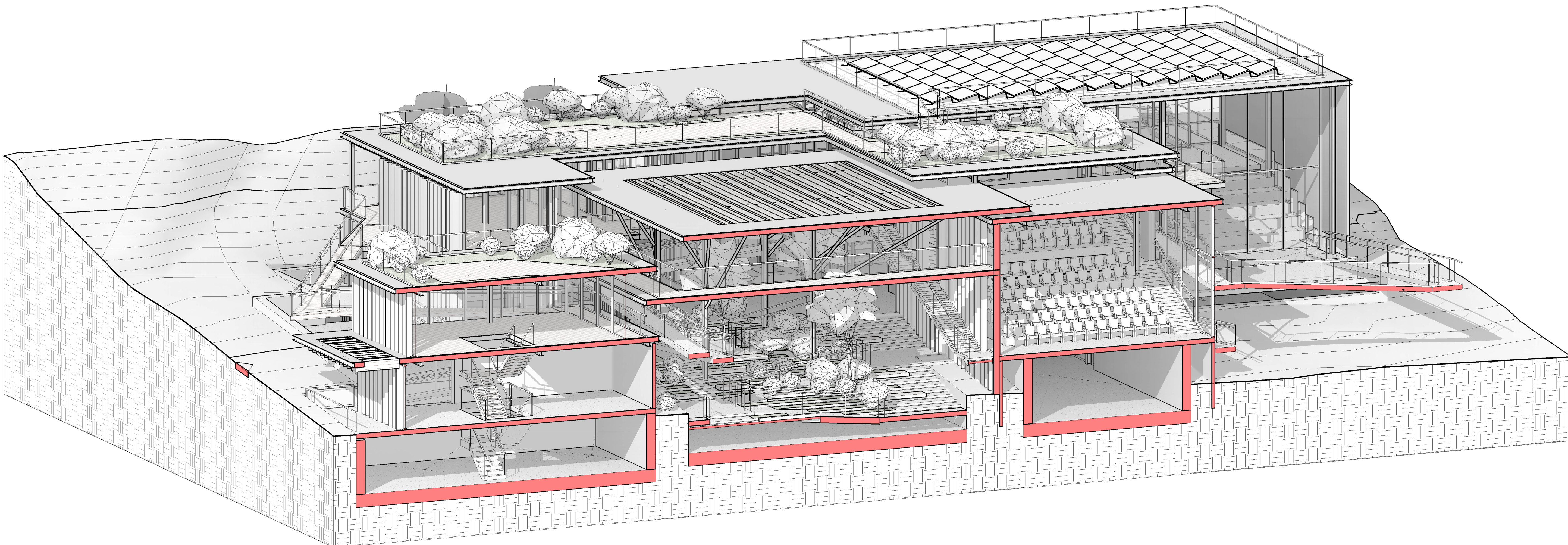
SEAL & SIGNATURE	DATE	02/08/22
	PROJECT NO.	Project Number
	DRAWING BY	Author
	CHECKED BY	Checker



A-423.00

SCALE: 1/8" = 1'-0" 14 OF 18

CASE # SPC-2021-0195C





# KAALO STUDIO

7901 RM 2222  
AUSTIN, TEXAS 78730



**ARCHITECT**  
DENCITYWORKS  
55 Washington St Suite #713  
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305 East Huntland Drive  
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Austin, Texas 78752  
p: 512.453.0767  
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TBAE FIRM REGISTRATION NO.: 1452  
TBEF FIRM REGISTRATION NO.: F-14316  
TBPLS FIRM REGISTRATION NO.: 10065600

## PROJECT NOTES

NO.	DESCRIPTION	DATE
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SITE PLAN APPROVAL SHEET 15 OF 18  
FILE NUMBER: SP-2021-0195C APPLICATION DATE: 05/20/2021  
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## AERIAL VIEW

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DRAWING BY Author \_\_\_\_\_  
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A-900.00

SCALE: \_\_\_\_\_ 15 OF 18

CASE # SPC-2021-0195C





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SCALE: \_\_\_\_\_ 16 OF 18

**CASE # SPC-2021-0195C**



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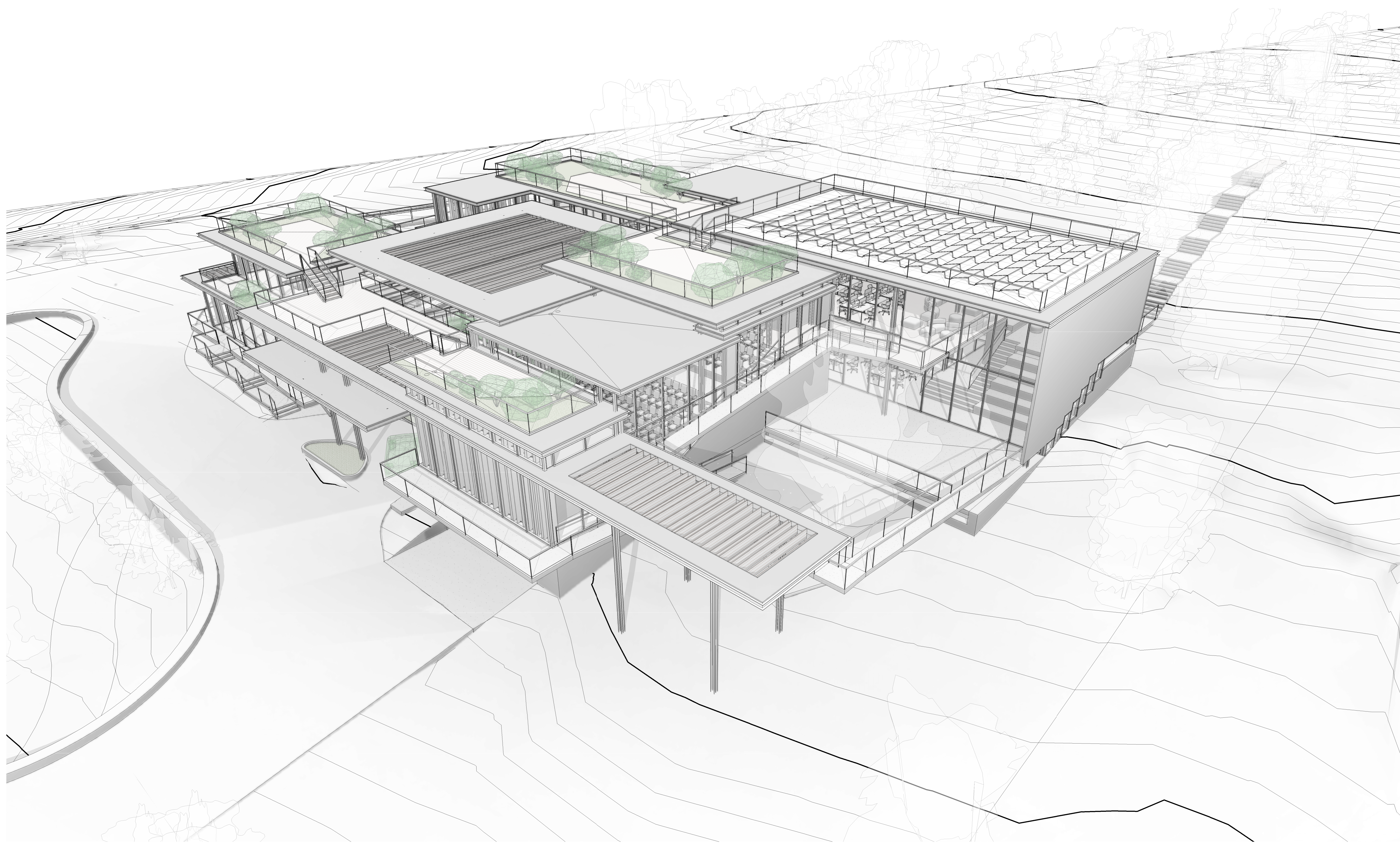
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**A-902.00**

SCALE: \_\_\_\_\_ 17 OF 18

**CASE # SPC-2021-0195C**



**KAALO DESIGN YARD, MIXED USE DEVELOPMENT, 7901 RM 2222, AUSTIN TX 78730**

CASE NUMBER	SP-2021-0195C
ZONING CASE NUMBER	C14-2016-0094
ZONING DISTRICT	<b>GO-MU-CO</b> GENERAL OFFICE-MIXED USE-CONDITIONAL OVERLAY
WATERSHED ZONE	CWQZ & WQIZ CRITICAL WATER QUALITY ZONE & WATER QUALITY TRANSITION ZONE
FLOOD ZONE	FEMA FLOOD ZONE X MAP 48453C0245J <b>NO FLOOD PLAIN PERMIT REQD</b>
HEIGHT ZONE	MODERATE INTENSITY ZONE (WITH CONDITIONAL OVERLAY)
LOT SIZE	4.72 ACRES (IRREGULAR)
LOT AREA	<b>205,403 SFT</b>
SCOPE OF WORK	NEW MIXED USE DEVELOPMENT WITH GENERAL OFFICE & RESIDENTIAL USES
PROPOSED OCCUPANCY GROUP	B (BUSINESS) R (RESIDENTIAL)
PROPOSED USE GROUP	GENERAL OFFICE USE

ZONING ORDINANCE COMPLIANCE		PERMITTED	PROVIDED	REMARKS
<b>ORDINANCE #</b> 20171109-062	<b>USE REGULATIONS</b> USES PROHIBITED	USES PERMITTED AS OF RIGHT. MULTIFAMILY RESIDENTIAL, ART WORKSHOP, CONVALESCENT SERVICES, COMMUNICATION SERVICES & CULTURAL SERVICES.	<b>OFFICE, RETAIL, COMMERCIAL &amp; RESIDENTIAL</b>	<b>COMPLIES</b>
<b>ORDINANCE #</b> 20171109-062	<b>SETBACK REGULATIONS</b>	BUILDING SETBACK & VEGETATIVE BUFFER FROM PPT LINE NORTH PROPERTY LINE (BLDG SETBACK) SOUTH PROPERTY LINE (VEGETATIVE BUFFER) EAST PROPERTY LINE WEST PROPERTY LINE	MINIMUM 25 FEET 24 FEET 100 FEET 35 FEET	25 FEET 35 FEET 25 FEET 100 FEET 35 FEET <b>COMPLIES</b>
<b>ORDINANCE #</b> 20171109-062	<b>BUILDING HEIGHT</b>	MEASURED FROM ADJACENT GRADE BUILDING 1 BUILDING 2 BUILDING 3 BUILDING 4	MAXIMUM 28 FEET 28 FEET 28 FEET 28 FEET	SEE SECTIONS SEE SECTIONS SEE SECTIONS SEE SECTIONS <b>COMPLIES</b>
<b>ORDINANCE #</b> 20171109-062	<b>PROPERTY FENCE</b>	FENCE ALONG SOUTHERN LOT LINE ABUTTING RESIDENTIAL USE	8 FEET TALL SOLID	SEE PLANS <b>COMPLIES</b>
<b>ORDINANCE #</b> 20171109-062	<b>MULTIFAMILY RESIDENTIAL USE</b>	MAXIMUM DWELLING UNITS DWELLING UNIT TYPE	8 DUs EFF   1BR   2BR OR MORE	2 DUs 1 BR UNITS <b>COMPLIES</b>

HILL COUNTRY ROADWAY COMPLIANCE					
25-2-1102	<b>APPLICABILITY</b>	RM 2222, FROM HIGHLAND HILLS DR. TO RM 620	APPLIES	SEE PLANS	<b>COMPLIES</b>
25-2-1127	<b>NATURAL AREAS</b>	PORTION OF SITE LEFT IN A NATURAL STATE	MIN. 40%	85% SEE CIVIL DRAWINGS	<b>COMPLIES</b>
25-2-1122	<b>FLOOR AREA REGULATIONS</b> <b>MAXIMUM FLOOR AREA RATIO</b>	LOW INTENSITY ZONE - SLOPE GRADIENT	<b>MAX FAR</b>		<b>COMPLIES</b>
		SLOPE	CAT AREA	FAR ALLOWED	
		0-15%	54,858	0.20	10,972
		15-25%	36,861	0.08	2,949
		25-35%	8,634	0.04	345
		35% +	1,040	0.00	0
		MOD INTENSITY ZONE - SLOPE GRADIENT			
		SLOPE	CAT AREA	FAR ALLOWED	
		0-15%	53,294	0.25	13,324
		15-25%	30,314	0.10	3,051
		25-35%	6,135	0.05	307
		35% +	1,667	0.00	0
	<b>MAXIMUM FLOOR AREA</b>	FLOOR AREA OF NON-RESIDENTIAL BUILDINGS	<b>30,947</b>	<b>14,538</b>	<b>COMPLIES</b>
25-2-1123	<b>CONSTRUCTION ON SLOPES</b>	(B) CONSTRUCTION UPHILL OF SLOPE 15%+  (C) CONSTRUCTION DOWNHILL OF SLOPE 15%+	PIER & BEAM CONST.  8 FEET EXCAVATION DEPTH MAX.	<b>USE ECM TERRACING TECHNIQUES PER 25-8-302</b>  <b>USE ECM TERRACING TECHNIQUES PER 25-8-302</b>	<b>VARIANCE REQUE</b>
25-2-1124	<b>BUILDING HEIGHT</b>	IF SITE WITHIN 200FEET OF ROADWAY & IN LOW INTENSITY ZONE (PORTION)	28 FEET MAX.	SEE SECTIONS	<b>COMPLIES</b>
25-2-1126	<b>BUILDING MATERIALS</b>	COMPATIBLE BUILDING MATERIALS	TO THE EXTENT POSSIBLE	SEE ELEVATIONS	<b>COMPLIES</b>
25-2-1127	<b>IMPERVIOUS COVER</b>			SEE CIVIL DRAWINGS	<b>COMPLIES</b>

ARTICLE I & VII - BUILDING & FIRE CODE COMPLIANCE					
503.2.1	<b>DIMENSIONS OF FIRE APPARATUS ACCESS ROADS</b>	WIDTH	MIN. 25 FEET	25 FEET	<b>COMPLIES</b>
503.2.4	<b>FIRE LANE ACCESS</b>	REQUIRED PER IFC 2012 WIDTH SLOPE (CONCRETE) SLOPE (ASPHALT) RADIUS	MIN. 25 FEET MAX 13% MAX 11% 50 FEET OUTSIDE RADIUS	25 FEET SEE CIVIL DRAWINGS SEE CIVIL DRAWINGS SEE CIVIL DRAWINGS	<b>COMPLIES</b>
504.1	<b>REQUIRED ACCESS</b>	EMERGENCY ACCESS WALKWAY FOR FIRE DEPT FROM FIRE APP ACCESS ROAD TO BLDG ENTRANCES	MIN. 36"	SEE PLANS	<b>COMPLIES</b>
507.5.1	<b>BUILDING PERIMETER ACCESS</b>	MAXIMUM FROM NEAREST HYDRANT ON A FAAR	400 FEET	SEE PLANS, SPRINKLERED BLDG CLASS-A FIREPROOF	<b>COMPLIES</b>
1104.1	<b>SITE ARRIVAL POINTS</b>	ACCESSIBLE ROUTE FROM ARRIVAL POINT PASSENGER LOADING ZONE TO BUILDING ENTRANCE.	MIN. ONE	SEE PLANS	<b>COMPLIES</b>
1106.4	<b>LOCATION OF PARKING SPACES</b>	ACCESSIBLE PARKING SPACE SHALL BE CLOSEST TO ACCESSIBLE BUILDING ENTRANCE	SHORTEST DISTANCE	SEE PLANS	<b>COMPLIES</b>

ARTICLE VII OFF STREET PARKING & LOADING COMPLIANCE					
25-6 APPDX -A	<b>OFF STREET PARKING REGULATIONS</b>	BY USE BUSINESS OFFICE - 1 CAR / 275 GSF ACC. OFFICE AUDITORIUM (80 SEATS) - 1 CAR / 4 SEATS GROUP RESIDENTIAL - 1 CAR + 1 CAR / 2 TENANTS TOTAL REQUIRED	22 20 3 45	21 20 4 45	<b>COMPLIES</b>
25-6-477	<b>BICYCLE PARKING</b>	PERCENTAGE OF PARKING PROVIDED - 5% OR, MINIMUM 5 SPACES	5	6 SEE A-200 PLANS	<b>COMPLIES</b>
25-6-532	<b>OFF STREET LOADING</b>	<b>USE</b> BUSINESS OFFICES (0-10,000GSF) RESIDENTIAL	NONE REQUIRED NONE REQUIRED	NONE PROVIDED NONE PROVIDED	<b>COMPLIES</b> <b>COMPLIES</b>
	<b>TREE RESTITUTION</b>	HERITAGE TREES (24" CAL.) PROTECTED TREES (18" CAL.) HAZARDOUS & INVASIVE TREES MEDIUM TREES (6"-18.9" CAL.) SMALL TREES (UNDER 6" CAL.)	300% 100% 0% 25%-50% 25%-50%	NOT APPLICABLE NOT APPLICABLE NOT APPLICABLE NOT APPLICABLE NOT APPLICABLE	<b>COMPLIES</b>
	<b>IMPERVIOUS COVER</b>	ALL DEVELOPMENTS WITHIN WQIZ	18% MAX	15%	<b>COMPLIES</b>

ARTICLE 3-SUBCHAPTER E COMPLIANCE					
2.4 (B) 1 & 2	<b>BUILDING ENTRYWAYS</b>	HILL COUNTRY ROADWAY DISTRICTS CUSTOMER ENTRANCE FACING ROADWAY & ICR MAXIMUM DISTANCE BETWEEN ENTRANCES	1.0 MIN. 75 FEET MAX.	3 PROVIDED SEE PLANS	<b>COMPLIES</b> <b>COMPLIES</b>
2.5.2	<b>EXTERIOR LIGHTING</b>	SIGNAGE CANOPIES & OVERHANGS RECREATIONAL AREAS PATHWAYS	FULL CUT-OFF LUMINAIRES FULLY SHIELDED LUMINAIRES	SEE ELEVATIONS	<b>COMPLIES</b>
2.6.2 (A & B)	<b>SCREENING OF EQUIPMT &amp; UTILITIES</b>	SOLID WASTE COLLECTION AREAS LOADING DOCKS & OUTDOOR TRASH COLLECTN AREAS	NOT APPLICABLE SCREENING REQD	PROVIDED SEE NOTES	<b>COMPLIES</b>
2.7.3	<b>PRIVATE COMMON OPEN SPACE</b>	PERCENTAGE OF GROSS SITE AREA (5%)	10.28%	ENTRY COURT (1,790SF) LANDSCAPE COURT (1,585 SF) NATURAL VEGETATION ZONES (6,625 SF)	<b>COMPLIES</b>
2.8.3	<b>SHADE &amp; SHELTER</b>	EXTENT SHADED SIDEWALK ON BUILDING FRONTAGE 50% OF BUILDING FRONTAGE (224FEET)	112FT	130FT PROVIDED SEE PLANS	<b>COMPLIES</b>

**DWELLING UNIT SCHEDULE**

TYPE	FLOOR	AREA	QUANTITY	PROGRAM
1 BR	DUPLEX A	2,141 SF	1	LIVING, DINING, KITCHEN, POWDER ROOM, MEDIA ROOM, PRIMARY BEDROOM, PRIMARY BATHROOM, LAUNDRY, PARKING.
1 BR	DUPLEX B	2,114 SF	1	LIVING, DINING, KITCHEN, POWDER ROOM, MEDIA ROOM, PRIMARY BEDROOM, PRIMARY BATHROOM, LAUNDRY, PARKING.
<b>TOTAL</b>		<b>4,255 SF</b>	<b>2</b>	

**FLOOR AREA SCHEDULE**

<b>LOT AREA</b>	<b>205,603</b>
<b>FLOOR AREA ALLOWED</b>	<b>30,947</b>
<b>PROPOSED FLOOR AREA</b>	
BUSINESS OFFICE	9,565
RESIDENTIAL	4,973
<b>TOTAL</b>	<b>14,538</b>
	<b>COMPLIES</b>

FLOORS	USE	ZONING DISTRICT LO-MU-CO (20171109-062)			
		GROSS SF	MECH	MISC	ZFA SF
CELLAR	ACC. PARKING	11,630		ALL	0
	BUILDING STORAGE	1,545		ALL	0
	<b>TOTAL</b>	<b>13,175</b>			<b>0</b>
1ST FLOOR	BUSINESS OFFICE (LOBBY)	526	18		508
	BUSINESS OFFICE	3,077	108		2,969
	ACC BUSINESS AUDITORIUM	1,268	44		1,224
	ACC BUSINESS RESTROOMS	325	11		314
	RESIDENTIAL (EXEC SUITE) A - LWR LVL	1,169	41		1,128
	RESIDENTIAL (EXEC SUITE) B - LWR LVL	1,181	41		1,140
	ACC RESIDENTIAL CAFÉ	421	15		406
	MECHANICAL	805		ALL	0
	<b>TOTAL</b>	<b>8,772</b>			<b>7,688</b>
2ND FLOOR	BUSINESS OFFICE (LOBBY)	526	18		508
	BUSINESS OFFICE	3,077	108		2,969
	ACC BUSINESS AUDITORIUM	1,113	39		1,074
	RESIDENTIAL (EXEC SUITE) A - UPR LVL	972	34		938
	RESIDENTIAL (EXEC SUITE) B - UPR LVL	933	33		900
	ACC RESIDENTIAL MEETING RM	477	17		460
	<b>TOTAL</b>	<b>7,098</b>			<b>6,850</b>
MAIN ROOF	MECHANICAL	526	ALL	0	0
BULKHD 1	MECHANICAL	250	ALL	0	0
<b>TOTAL BY USE</b>	<b>USE</b>	<b>GROSS SF</b>			<b>ZFA SF</b>
	BUSINESS OFFICE	9,912			9,565
	RESIDENTIAL	5,153			4,973
	ACCESSORY PARKING	0			0
	MECHANICAL	1,581			0
	<b>TOTAL</b>	<b>16,646</b>			<b>14,538</b>
<b>INCLUDING CELLAR</b>	BUSINESS OFFICE	9,912			
	RESIDENTIAL	5,153			
	ACCESSORY PARKING	11,430			
	MECHANICAL	3,126			
	<b>TOTAL</b>	<b>29,821</b>			<b>14,538</b>

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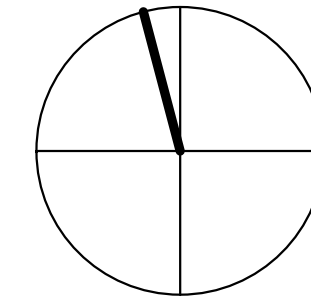
**ZONING & CODE ANALYSIS**

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SCALE: 18 OF 18



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